

BUILDING PERMIT APPLICATION

Columbia County Land Development Services, 230 Strand, St. Helens, Oregon 97051
 Phone (503) 397-1501, Fax (503) 366-3902, Inspection line (503) 397-7265

PERMIT #

ISSUE DATE:

PROJECT ADDRESS	CITY	LOT SIZE
MAP NUMBER	SDC Transportation District (OFFICE USE ONLY)	UGB Rural (OFFICE USE ONLY)
OWNER	CONTRACTOR _____ OREGON CCB LICENSE # _____	
MAILING ADDRESS	MAILING ADDRESS _____	
CITY _____ STATE _____ ZIP _____	CITY _____ STATE _____ ZIP _____	
CONTACT PHONE # _____ FAX # _____ E-MAIL ADDRESS _____	CONTACT PHONE # _____ FAX # _____ E-MAIL ADDRESS _____	

Residence: 1st floor _____ sq. ft. 2nd floor _____ sq. ft. Basement _____ sq. ft. Number of bedrooms: _____
 Garage: _____ sq. ft. Attached to house Detached from house
 Pole Building: _____ sq. ft. Concrete slab
 Mechanical: Woodstove Gas pressure test Describe job: _____
 Plumbing: Describe job: _____ Water Source: _____
 Other: Describe job: _____
 Manufactured Home Siting: Private Property or Mobile Home Park: Name: _____ Space# _____
 Size: _____ X _____ Year Mfg: _____ HUD Label #: _____
Length Width

Installer Name _____ Mailing Address _____ Phone _____ CCB# _____ MDI# _____
License # Installer #

DIRECTIONS TO THE PROPERTY: _____

Planning Approval

Zoning: _____ Required Setbacks: Front _____ Side _____
 Side _____ Rear _____
 Special Conditions: _____
 Sign: _____ Date: _____

Sub-Surface Sewage Approval

Septic Permit # _____
 Sign: _____
 Date: _____

Building Approval

Building Code: _____
 Valuation \$ _____
 Sign: _____
 Date: _____

Road Access Permit # _____
 Construction Approved ____/____/____
 Fire Department: _____
 Approval date: _____

PERMIT FEES

Planning Release Fee	\$	
Existing Septic Record Review		
Plans Checking \$		
Construction		
Plumbing		
Mechanical		
Mobile Home		
State Development Code		
Rural Address Assignment		
12% State Surcharge		
SUBTOTAL	\$	
Transportation System SDC		
Parks System SDC		
5% SDC Administration		
TOTAL DUE	\$	

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

This permit is granted on the express condition that the said construction will, in all respects, conform to the Ordinances of this jurisdiction, including the Zoning Ordinance, regulating the construction and use of buildings, and may be revoked at any time upon violation of any provision of said Ordinances. It is further certified that the contractor is registered with the Builder's Board and is in full force and effect as required by ORS 701.055, that if exempt, the basis for exemption is noted hereon, and that only subcontractors and employees who are in compliance with ORS 701.055 will be used on this project. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this work will be complied with whether specified herein or not. By signing this, I agree to expressly and unequivocally call for and consent to any and all inspections deemed necessary by the Building Official and the Subsurface Sewage Sanitarian.

Signature of Contractor _____ Date _____

Signature of Owner _____ Date _____

Receipt# _____ Ck# _____ / Receipt # _____ Ck# _____
 CASH CREDIT *** CASH CREDIT

Columbia County Building Division
One & Two Family Dwelling
Building Permit Application Checklist

The Planning, Public Works, Road and Fire must be signed off prior to beginning plan review.

The following items are required for plan review and shall be used by the jurisdiction to determine a complete set of plans and compliance with OAR 918-020-0090(3)(a)(C) and (4).

	Yes	No	N/A
<p>1. Building Plans. Two (2) complete sets of legible plans drawn to scale showing conformance to the applicable local and state building codes. Lateral design details and connections must be incorporated into the plans or on a separate full size sheet attached to the plans with cross-reference between plan location and details. Plan review cannot be completed if copyright violations are evident.</p>			
<p>2. Site/Plot Plan. The plan must be drawn to scale and show: lot and building setback dimensions; property corner elevations (if there is more than 4-ft. elevation differential; contour lines at 2-ft. intervals for a distance away from the building necessary to show compliance with OTFDC Section 401); location of easements and driveway; footprint of structure (including decks); location of well(s) and septic system(s); utility locations; any known fill sites or landslide hazard areas; directional indicator; lot area; impervious area; existing structures on site; and surface drainage.</p>			
<p>3. Foundation Plan and Cross Section. Show footing and foundation dimensions, anchor bolts, any hold-downs and reinforcing steel, connections details, foundation vent size and location, and soil type.</p>			
<p>4. Floor Plans. Show all dimensions, room identification, door and window sizes and locations, location of smoke detectors, water heater, HVAC equipment, ventilation fans, plumbing fixtures, balconies and decks 30 inches above grade, etc.</p>			
<p>5. Cross Section(s) and Details. Show all framing member sizes and spacing such as floor beams, headers, joists, sub-floor, wall construction, roof construction. More than one cross section may be required to clearly portray construction. Show details of all wall and roof sheathing, roofing, roof slope, ceiling height, siding material, footings and foundations, stairs, fireproof construction, thermal insulation, etc.</p>			
<p>6. Elevation Views. Provide elevations for new construction; minimum of two elevations for additions and remodels. Exterior elevations must reflect the actual grade if the change in grade is greater than 4-ft. at building envelope. Full size sheet addendums showing foundation elevations with cross-references are acceptable.</p>			

	Yes	No	N/A
<p>7. Wall Bracing (Prescriptive Path) and/or Lateral Analysis Plans. Building plans must show construction details and locations of lateral brace panels. For non-prescriptive path and analysis, provide specifications and calculations to engineering standards.</p>			
<p>8. Floor/Roof Framing Plans. Floor/roof framing plans are required for all floors/roof assemblies indicating member sizing, spacing and bearing locations, nailing and connection details. Show location of attic ventilation.</p>			
<p>9. Basements and Retaining Walls. Basement and retaining wall cross sections and details showing placement of reinforcing steel, drains and water-proofing shall be provided. Engineered plans are required for retaining walls exceeding 4-ft. in height and basement walls not complying with the prescriptive code requirements. For engineered systems, see item 13, for Engineer's calculations.</p>			
<p>10. Beam Calculations. Provide two sets of calculations using current code design values for all beams and multiple joists exceeding prescriptive code requirements, and/or any beam/joist carrying a non-uniform load.</p>			
<p>11. Manufactured Floor Truss Design Details. Manufactured Roof Truss Design Details.</p>			
<p>12. Energy Code Compliance. Identify the prescriptive path or provide calculations.</p>			
<p>13. Engineer's Calculations. Engineer's calculations when required or provided, (i.e. shear wall, roof truss, retaining walls exceeding 4-ft.) shall be stamped by an engineer or architect licensed in Oregon and shall be shown to be applicable to the project under review by cross-reference to the applicable plan location.</p>			
<p>14. All Engineering Must Be Wet Stamped.</p>			
<p>15. Required Information. In addition to required owner information, your application <i>must</i> contain the following information: property tax account number, contractor's name, address, phone, Oregon CCB#, City business license number (including subcontractor's).</p>			

Owner/Applicant Signature _____

Date Signed _____

COLUMBIA COUNTY BUILDING DIVISION

Residential Mechanical Information

Customer Name: _____ Address or Tax Lot: _____

Gas Test (1-4 outlets, each) _____	Gas _____	Electric _____
Gas Test (5 or more, each) _____	Gas _____	Electric _____
Air-conditioning _____	Gas _____	Electric _____
Bath Fan (total # _____)	Gas _____	Electric _____
Laundry Room Fan _____	Gas _____	Electric _____
BBQ gas line _____	Gas _____	Electric _____
Cadet Heater, each _____	Gas _____	Electric _____
Dryer _____	Gas _____	Electric _____
Dryer Vent _____	Gas _____	Electric _____
Gas Fire Place (all types) _____	Gas _____	Electric _____
Furnace/Duct Work _____	Gas _____	Electric _____
Heat pump; electric _____	Gas _____	Electric _____
Propane Insert _____	Gas _____	Electric _____
Range/Cook top; gas _____	Gas _____	Electric _____
Range Hood/Vent _____	Gas _____	Electric _____
Water Heater _____	Gas _____	Electric _____
Woodstove _____	Gas _____	Electric _____

TABLE N1101.1(2)
ADDITIONAL MEASURES

Envelope Enhancement Measure (Select One)	1	High efficiency walls & windows: Exterior walls—U-0.047/R-19+5 (insulation sheathing)/SIPS, and one of the following options: Windows—Max 15 percent of conditioned area; or Windows—U-0.30
	2	High efficiency envelope: Exterior walls—U-0.058/R-21 Intermediate framing, and Vaulted ceilings—U-0.033/R-30A ^{d,e} , and Flat ceilings—U-0.025/R-49, and Framed floors—U-0.025/R-38, and Windows—U-0.30; and Doors—All doors U-0.20, or Additional 15 percent of permanently installed lighting fixtures as high-efficacy lamps or Conservation Measure D and E
	3	High efficiency ceiling, windows & duct sealing: (Cannot be used with Conservation Measure E) Vaulted ceilings—U-0.033/R-30A ^{d,e} , and Flat ceilings—U-0.025/R-49, and Windows—U-0.30, and Performance tested duct systems ^b
	4	High efficiency thermal envelope UA: Proposed UA is 15% lower than the Code UA when calculated in Table N1 104.1(1)
	5	Building tightness testing, ventilation & duct sealing: (Cannot be used with Conservation Measure E) A mechanical exhaust, supply, or combination system providing whole-building ventilation rates specified in Table N1101.1(3), or ASHRAE 62.2, and The dwelling shall be tested with a blower door and found to exhibit no more than: 1. 6.0 air changes per hour ^f , or and 2. 5.0 air changes per hour ^f when used with Conservation Measure E, and 2. Performance tested duct systems ^b
	6	Ducted HVAC systems within conditioned space: (Cannot be used with Conservation Measure B or C) All ducts and air handler are contained within building envelope ⁱ
Conservation Measure (Select One)	A	High efficiency HVAC system: Gas-fired furnace or boiler with minimum AFUE of 90% a, or Air-source heat pump with minimum HSPF of 8.5 or Closed-loop ground source heat pump with minimum COP of 3.0
	B	Ducted HVAC systems within conditioned space: All ducts and air handler are contained within building envelope ⁱ
	C	Ductless heat pump: Replace electric resistance heating in at least the primary zone of dwelling with at least one ductless mini-split heat pump having a minimum HSPF of 8.5. Unit shall not have integrated backup resistance heat, and the unit (or units, if more than one is installed in the dwelling) shall be sized to have capacity to meet the entire dwelling design heat loss rate at outdoor design temperature condition. Conventional electric resistance heating may be provided for any secondary zones in the dwelling. A packaged terminal heat pump (PTHP) with comparable efficiency ratings may be used when no supplemental zonal heaters are installed in the building and integrated backup resistant heat is allowed in a PTHP
	D	High efficiency water heating & lighting: Natural gas/propane, on-demand water heating with min EF of 0.80, or heat pump water heater with min EF of 1.8 (northern climate) and a minimum 75 percent of permanently installed lighting fixtures as CFL or linear fluorescent or a min efficacy of 40 lumens per watt as specified in Section N1107.2 ^g
	E	Energy management device & duct sealing: Whole building energy management device that is capable of monitoring or controlling energy consumption, and Performance tested duct systems ^b , and A minimum 75 percent of permanently installed lighting fixtures as high-efficacy lamps.
	F	Solar photovoltaic: Minimum 1 watt/sq ft conditioned floor space ^h
	G	Solar water heating: Minimum of 40 ft ² of gross collector area ^h

For SI: 1 square foot = 0.093 m², 1 watt per square foot = 10.8 W/m².

- a. Furnaces located within the building envelope shall have sealed combustion air installed. Combustion air shall be ducted directly from the outdoors.
- b. Documentation of Performance Tested Ductwork shall be submitted to the building official upon completion of work. This work shall be performed by a contractor- technician certified by the Oregon Department of Energy's (ODOE) Residential Energy Tax Credit program and Performance Tested Comfort Systems (PTCS) program administered by the Bonneville Power Administration (BPA). Documentation shall be provided that work demonstrates conformance to ODOE PTCS duct performance standards.
- c. Section N1 107.2 requires 50 percent of permanently installed lighting fixtures to contain high efficacy lamps. Each of these additional measures adds an additional percent to the Section N1 107.2 requirement.
- d. A = advanced frame construction, which shall provide full required ceiling insulation value to the outside of exterior walls.
- e. The maximum vaulted ceiling surface area shall not be greater than 50 percent of the total heated space floor area unless vaulted area has a U-factor no greater than U-0.026.
- f. Building tightness test shall be conducted with a blower door depressurizing the dwelling 50 Pascal's from ambient conditions. Documentation of blower door test shall be submitted to the Building Official upon completion of work.
- g. Solar electric system size shall include documentation indicating that Total Solar Resource Fraction is not less than 75 percent.
- h. Solar water heating panels shall be Solar Rating and Certification Corporation (SRCC) Standard OG-300 certified and labeled, with documentation indicating that Total Solar Resource Fraction is not less than 75 percent.
- i. A total of 5 percent of an HVAC systems ductwork shall be permitted to be located outside of the conditioned space. Ducts located outside the conditioned space shall have insulation installed as required in this code.

TABLE N1101.3
SMALL ADDITION ADDITIONAL MEASURES (Select one)

1	Increase the ceiling insulation of the existing portion of the home as specified in Table N1101.2.
2	Replace all existing single-pane wood or aluminum windows to the <i>U</i> -value as specified in Table N1101.2.
3	Insulate the floor system as specified in Table N1101.2 & install 50 percent of permanently installed lighting fixtures as CFL or linear fluorescent or a min. efficacy of 40 lumens per watt as specified in Section N1107.2.
4	Test the entire dwelling with a blower door and exhibit no more than 7.0 air changes per hour @ 50 Pascals.
5	Seal and performance test the duct system.
6	Replace existing 78 percent AFUE or less gas furnace with a 92 percent AFUE or greater system.
7	Replace existing electric radiant space heaters with a ductless mini split system with a minimum HSPF of 8.5.
8	Replace existing electric forced air furnace with an air source heat pump with a minimum HSPF of 8.5.
9	Replace existing water heater for a natural gas/propane water heater with a minimum EF of 0.67.
10	Install a solar water heating system with a minimum of 40 ft ² of gross collector area.

Columbia County

MOISTURE-SENSITIVE WOOD FRAMING MOISTURE CONTENT

Permit No.: _____

Site Address: _____

Subdivision/Lot: _____

And/or

Map and Tax Lot: _____

By my signature below, I certify that all moisture-sensitive wood framing members used in construction of the above mentioned building have been tested and determined to have a moisture content of nineteen (19) percent or less of the weight of dry wood framing members. (Oregon Residential Specialty Code R318.2).

Signed: _____ Date: _____
Owner/General Contractor/Authorized Agent

Print Name: _____

Permit #: _____

Address: _____

Issued by: _____ Date: _____

Statement: Information Notice to Property Owners About Construction Responsibilities

Note: Oregon Law, ORS 701.055(4), requires residential construction permit applicants who are not registered with the Construction Contractors Board to sign the following statement before a building permit can be issued. This statement is required for residential building, electrical, mechanical, and plumbing permits. Licensed architect and engineer applicants, exempt from registration under ORS 701.010(7), need not submit this statement. This statement will be filed with the permit.

Fill in the appropriate blanks and initial boxes 1 and 2, and either box 3A or 3B:

1. I own, reside in, or will reside in the completed structure.
2. I understand that I must register as a construction contractor if the structure is sold or offered for sale before or upon completion.

3A. My general contractor is _____ Contractor regis. # _____
(Name)

I will instruct my general contractor that all subcontractors who work on the structure must be registered with the Construction Contractors Board.

OR

3B. I will be my own general contractor.

If I hire subcontractors, I will hire only subcontractors registered with the Construction Contractors Board. If I change my mind and hire a general contractor, I will contract with a contractor who is registered with the CCB and will immediately notify the office issuing this building permit of the name of the contractor.

I hereby certify that the above information is correct and that I have read and do understand the Information Notice to Property Owners about Construction Responsibilities on the reverse side of this form.

(Signature of permit applicant)

(Date)

*(White copy to issuing agency permit file,
pink copy to applicant)*

Information Notice to Property Owners About Construction Responsibilities

Note: This Information Notice to Property Owners about Construction Responsibilities was developed by the Construction Contractors Board in accordance with ORS 701.055(5).

If you are acting as your own contractor to construct a new home or make a substantial improvement to an existing structure, you can prevent many problems by being aware of the following responsibilities and areas of concern.

EMPLOYER RESPONSIBILITIES:

If you hire persons not registered with the Construction Contractors Board to do labor in constructing or assisting in the construction or improvement of a residential structure, you will, in most instances, be ruled to be an employer and the people you hire will be employees. As the employer, you must comply with the following:

Oregon's withholding tax law: As an employer, you must withhold income taxes from employee wages at the time employees are paid. You will be liable for the tax payments even if you don't actually withhold the tax from your employees. For more information, call the Oregon Dept. of Revenue at 945-8091.

Unemployment insurance tax: As an employer, you are required to pay a tax for unemployment insurance purposes on the wages of all employees. For more information, call the Oregon Employment Department at 378-3524.

Workers' compensation insurance: As an employer, you are subject to the Oregon Workers' Compensation Law, and must obtain workers' compensation insurance for your employees. If you fail to obtain workers' compensation insurance, you may be subject to penalties and will be liable for all claim costs if one of your employees is injured on the job. For more information, call the Workers' Compensation Division at the Department of Consumer and Business Services at 945-7888.

U.S. Internal Revenue Service: As an employer, you must withhold federal income tax from employees' wages. You will be liable for the tax payment even if you didn't actually withhold the tax. For more information, call the Internal Revenue Service at 1-800-829-1040.

OTHER RESPONSIBILITIES AND AREAS OF CONCERN:

Code compliance: As the permit holder for this project, you are responsible for resolving any failure to meet code requirements that may be brought to your attention through inspections.

Liability and property damage insurance: Contact your insurance agent to see if you have adequate insurance coverage for accidents and omissions such as falling tools, paint overspray, water damage from pipe punctures, fire, or work that must be re-done.

Time to supervise employees: Make sure you have sufficient time to supervise your employees.

Expertise: Make sure you have the expertise to act as your own general contractor, to coordinate the work of rough-in and finish trades, and to notify building officials at the appropriate times so they can perform the required inspections.

If you have additional questions, write or call the Construction Contractors Board (PO Box 14140, Salem, OR 97309-5052, 503/378-4621). The Board is located at 700 Summer St. NE Suite 300, in Salem.

COLUMBIA COUNTY LAND DEVELOPMENT SERVICES

230 STRAND, ST. HELENS, OR 97051

Phone: (503) 397-1501; Fax: (503) 366-3902

PERMIT # _____

As the permit applicant, I understand that it is my responsibility to request and receive all requested inspections pertaining to this permit, as outlined in Oregon Administrative Rule (OAR) chapter 918. I further understand permits issued by an inspection jurisdiction under the provisions of these rules shall expire and become null and void if the work authorized by the permit is:

- Not started within 180 days from the date of permit issuance; or
- Suspended or abandoned for a period of 180 days after the work is started.

In order to avoid a permit expiration, or additional fees, one of the following is required:

- Request an inspection showing construction progress at intervals not exceeding 180 days.
- Request, in writing, an extension within 180 days of receipt of your permit, or previous inspection. The written request must demonstrate justifiable cause, and will be granted depending on circumstances.

If the permit expires prior to project completion and further inspections are required, I understand that I will be required to purchase a new permit and begin the process again.

Name (please print)

Contact Telephone Number

Signature

Date

As of 4/1/04

Columbia County Land Development Services
Building Site Plan Checklist

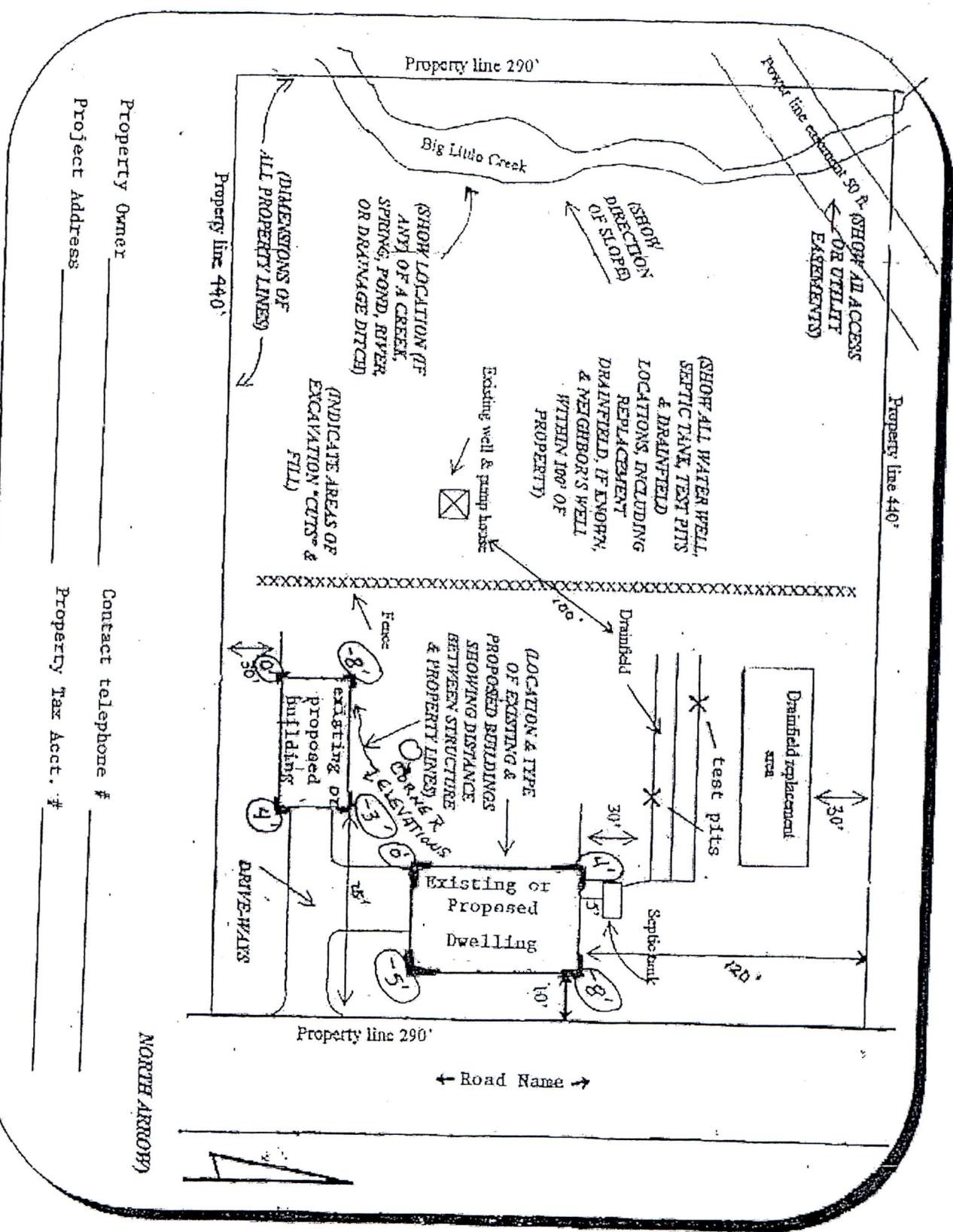
The site plan shall include the following information and shall be clearly legible & reproducible.
Accurate – Drawn to scale with clear dimensions – larger parcels use an inset of proposed development.

RESIDENTIAL & COMMERCIAL

- Size to be no larger than 11" x 17"
- Property dimensions – accurately defined property lines with dimensions included
- North arrow
- All existing and proposed structures – labeled (including decks & porches, etc.)
- Easements – Utility, ingress/egress, septic, fire break (if applicable), etc.
- Driveway length & width (proposed & existing)
- Roads (label existing & proposed) with right of way dimensions & their relationship to the driveway
- Topography – Direction and % of slope & elevations of contour lines (note on site plan if flat)
- Corner elevations of proposed structures circled
- Location of water source (well, community system or municipal)
- Setbacks from all property lines to proposed buildings/structures, & distances between existing & proposed structures and other existing development (ie, septic system)
- Septic system location, including tank, drainfield, and repair area
- Natural features – escarpments, ravines, steep slopes, or cut banks
- Water features – wetlands, streams, ponds, creeks, etc.
- Fire buffer zones (applicable for forest zoned PF-80 properties only)
- Flood plain: yes no FPD permit # (if applicable) _____
- If known, any planned drain locations (rain drains, curtain drains, etc.)
- Other _____

COMMERCIAL SECTION ONLY – Additional items required for commercial proposals

- Site plans **must** be to scale; provide one copy 11" x 17" in addition.
- Establish street grades & proposed finished grades
- Site plan shall be drawn in accordance w/an accurate boundary line survey
- Fire hydrants
- Drainage plan
- Sign location
- Parking
- Other _____



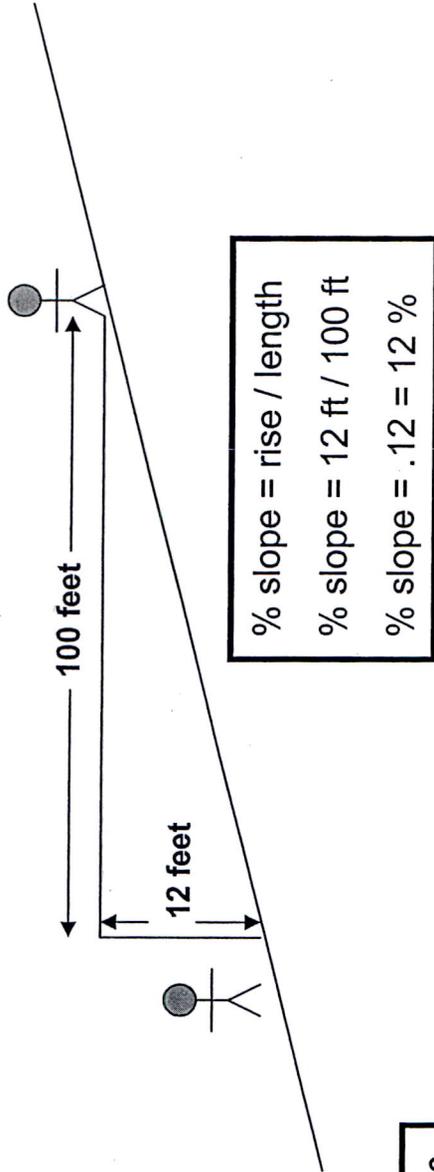
Property Owner _____
 Project Address _____

Contact telephone # _____
 Property Tax Acct. # _____

SAMPLE PLOT PLAN

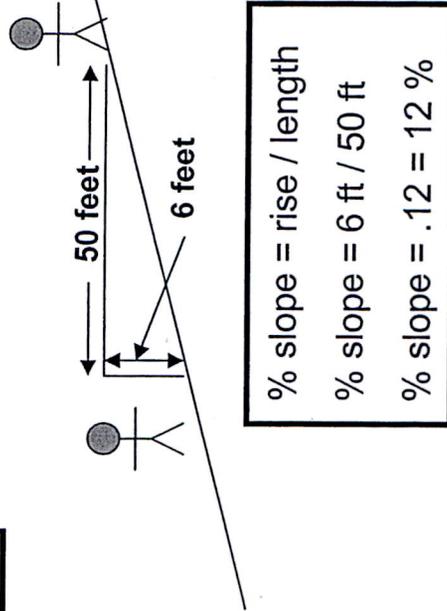
NORTH ARROW

How to measure % slope



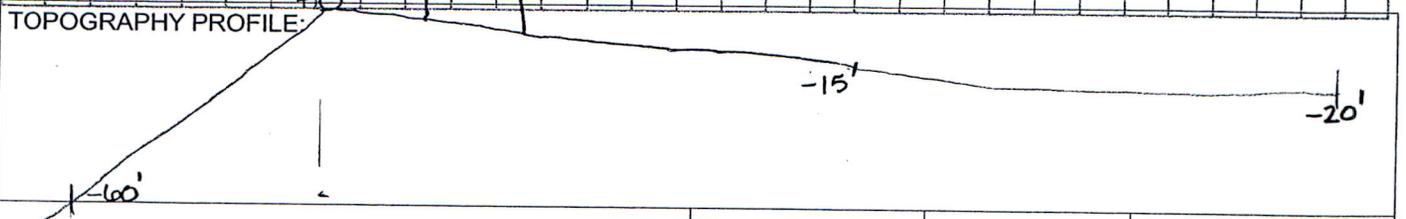
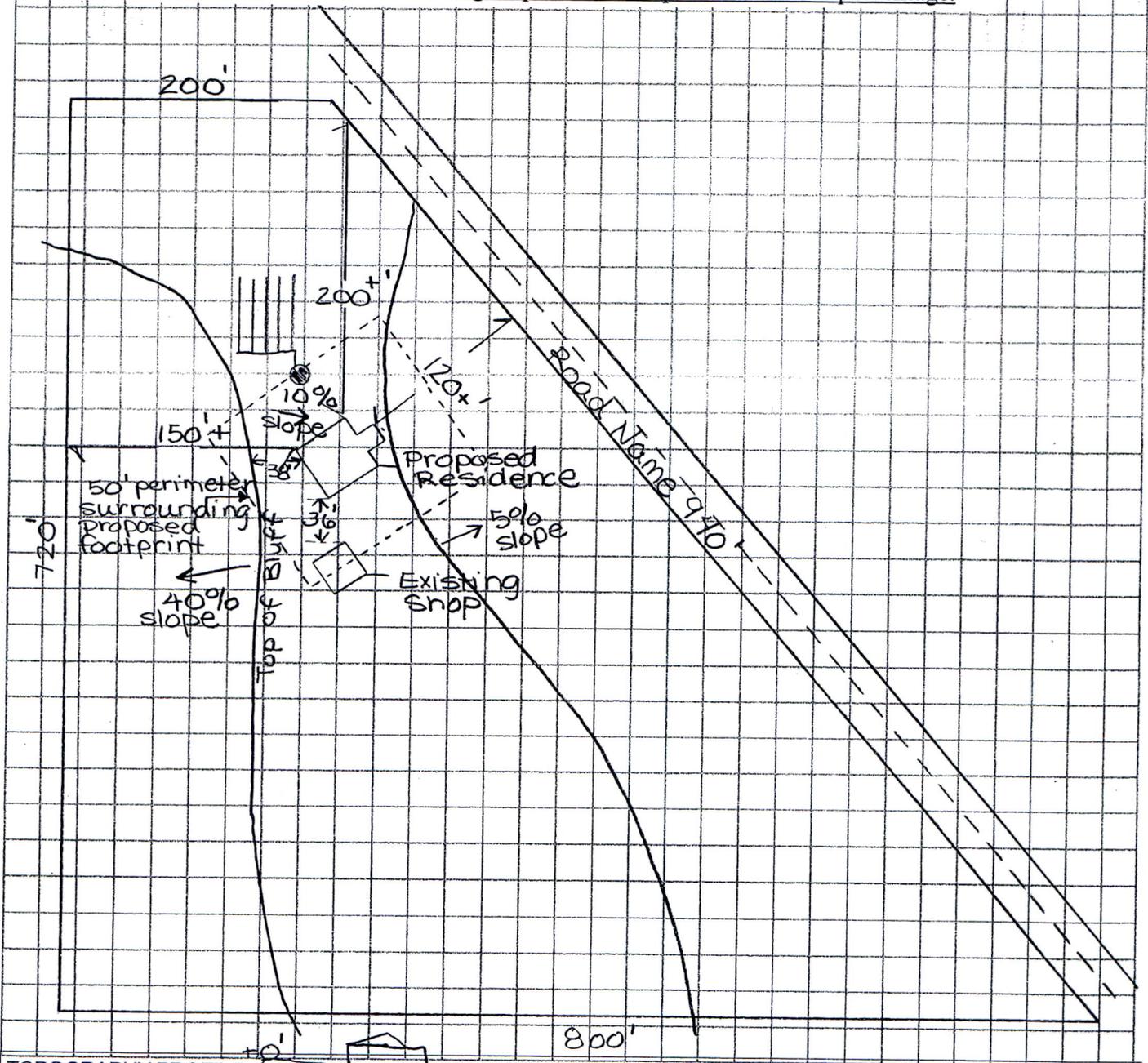
Equipment needed to determine % slope.

- String
- Bubble level (to insure string is level)
- Tape measure to measure rise



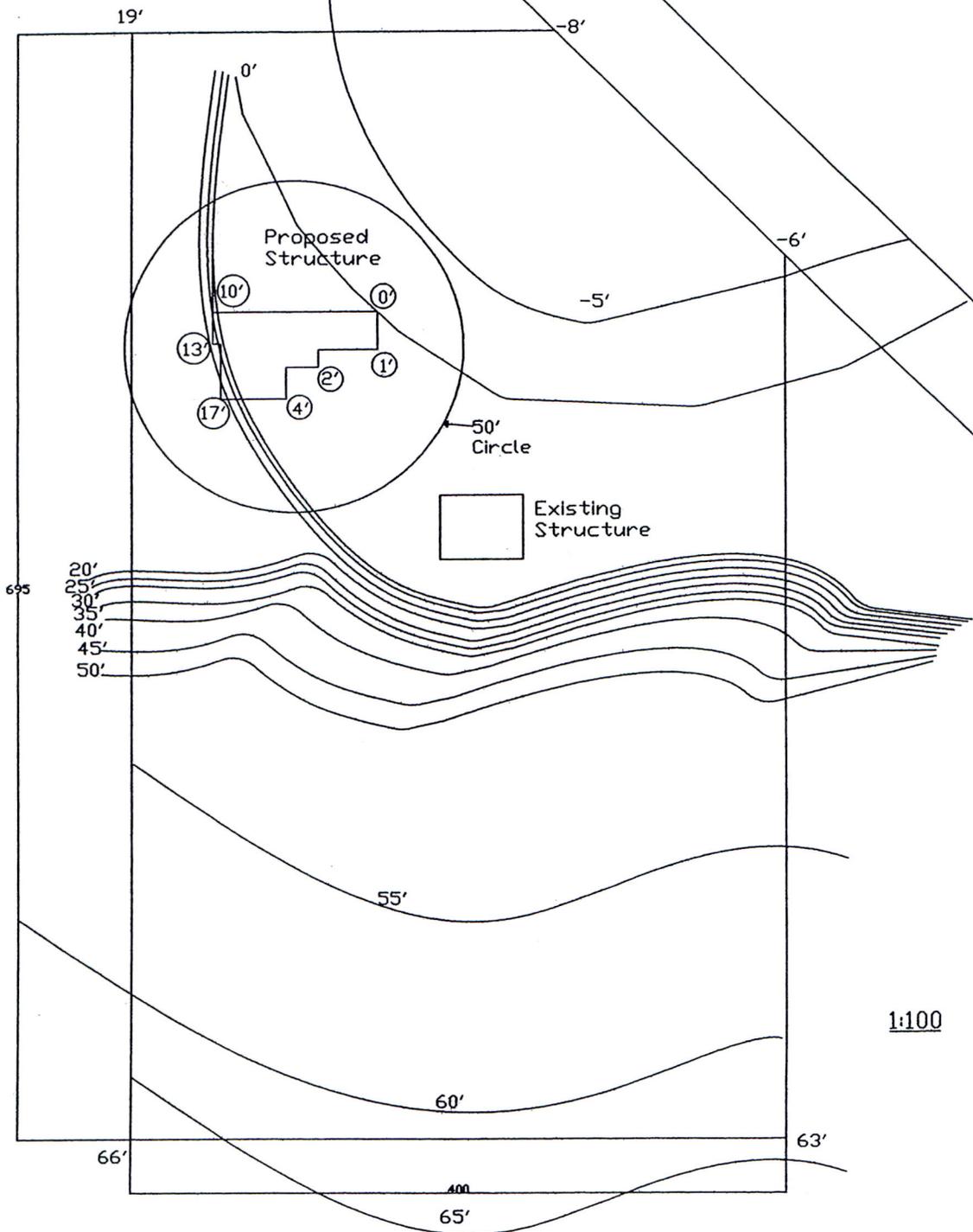
EXAMPLE TOPOGRAPHY

Drawing an arrow and writing slope is not acceptable without a percentage.



Building Permit number: _____ Owner/Applicant: _____ Parcel Number: _____	Direction: 	Scale: 1" = 120' Date of application: _____	Approval: <i>for office use</i> Building: _____ Planning: _____ Env. Health: _____
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EXAMPLE TOPOGRAPHY



PLOT PLAN - ELEVATIONS

Reason for Requirement

Many plans are designed without knowledge of site conditions. When these designs are constructed in the field, issues commonly arise that affect the structural stability of the building. These issues could include: site stability, drainage, lateral support, foundation design, driveway design and more.

Elevations on Plot Plans

Elevations are points that are above or below a fixed known elevation point. That fixed point could be a surveyed elevation above known sea level, as in the case of properties located in flood areas, or it could be an arbitrary point of elevation from which all other site elevations are derived. The important factor is the relative elevations up or down from other points on the same site. Elevation points are required for all corners of the building and any accessory buildings, the corners of the property and at distances of 50' from the buildings. If the plot plan has contour lines on it, then only corner building elevations are required. In addition, elevation at street or road level and point that of driveway access.

See attached example.

NOTICE OF ADOPTION/EFFECTIVE DATE

COLUMBIA COUNTY SYSTEM DEVELOPMENT CHARGES

The Columbia County Board of Commissioners adopted system development charges for transportation and parks applicable to new development within the unincorporated County area on February 21, 2007, effective 90 days after adoption.

The new charges summarized below are payable upon issuance of a building permit for new development. SDCs become effective on May 22, 2007 and apply to building permits submitted to Land Development Services on or after May 22, 2007. Varying rates to portions of the County unincorporated area as follows:

System Development Charges(SDCs) in the St. Helens and Scappoose Unincorporated Urban Growth Area:

Transportation and Parks SDCs in the unincorporated portions of the St. Helens and Scappoose Urban Growth Boundaries will be the same as those charged by these respective Cities. Collections will be dedicated to improvements within these respective Urban Growth Boundaries.

System Development Charges(SDCs) in Rural Areas:

SDC rates for new development in all other unincorporated areas of the County will be uniform but will be dedicated to improvements within the districts from which they were collected(see District Map in Attachment 1).

TRANSPORTATION SYSTEM DEVELOPMENT CHARGE

SCAPPOOSE URBAN GROWTH AREA:	Varies By Type of Use (See Attachment 2)
ST. HELENS URBAN GROWTH AREA:	\$322/daily trip end ¹
ALL OTHER UNINCORPORATED AREAS:	\$2,250/peak hr. trip ²

PARKS SYSTEM DEVELOPMENT CHARGE

SCAPPOOSE URBAN GROWTH AREA:	\$1,539/SF UNIT \$1,132/MF UNIT \$1,206/MH UNIT
ST. HELENS URBAN GROWTH AREA:	\$814/SF UNIT \$657/MF UNIT
ALL OTHER UNINCORPORATED AREAS:	\$750/SF UNIT \$605.77/MF UNIT

¹The fee for each type of land use is determined by multiplying the number of daily trip ends for that use as specified by the current edition of the Institute of Traffic Engineers Trip Generation data by \$322. For example for a single family dwelling:
9.57 trips/single family dwelling X \$322 per trip = \$3082/per single family dwelling

²The fee for each type of land use is determined by multiplying the number of peak hour trips for that use as specified by the current edition of the Institute of Traffic Engineers Trip Generation data by \$2,250. For example for a single family dwelling:
1.01 peak trips/single family dwelling unit X \$2,250/peak trip = \$2273 per single family dwelling unit.

ATTACHMENT 1

Columbia County Rural Transportation SDC District Map 2007

